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**CITY OF KELOWNA**  
**MEMORANDUM**

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**DATE:** April 24, 2009

**TO:** City Manager

**FROM:** Community Sustainability Division

**APPLICATION NO.** DP08-0234

**OWNER:** City of Kelowna

**AT:** 2955 Pandosy Street

**APPLICANT:** Philip Macdonald Architect

**PURPOSE:** TO APPROVE A DEVELOPMENT PERMIT FOR THE FORM AND CHARACTER OF THE PROPOSED 4 STOREY, 39-UNIT MIXED-USE SUPPORTIVE HOUSING BUILDING

**EXISTING ZONE:** C4 – Urban Centre Commercial

**REPORT PREPARED BY:** Alec Warrender

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1.0 RECOMMENDATION

THAT the Council authorize the issuance of Development Permit No. DP08-0234 for Lot 2, District Lot 14, ODYD, Plan 35105, located at 2955 Pandosy Street, Kelowna, B.C. subject to the following:

- 1) The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
- 2) The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
- 3) Landscaping to be provided on the land be in general accordance with Schedule "C";
- 4) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
- 5) The registration of the subdivision plan at the Land Titles Office prior to issuance of the Development Permit;
- 6) The applicant be required to satisfy the Development Engineering Branch requirements prior to issuance of the Development Permit.

AND THAT the applicant be required to complete the above-noted condition No. 4 within 180 days of Council approval of the Development Permit application in order for the permit to be issued.

2.0 SUMMARY

This Development Permit seeks approval for the form & character of the proposed mixed-use building, which includes main level office space and 39-units of supportive housing.

3.0 ADVISORY PLANNING COMMISSION

At a meeting held on March 31, 2009, the APC passed the following motion:

THAT the Advisory Planning Commission support Development Permit Application No. DP08-0234, for 2955 Pandosy Street; Lot 2, Plan 35105, District Lot 14, Sec. 13, Twp. 25, & Sec. 18, Twp. 26, ODYD; by Philip MacDonald Arch Inc (B. Sicheloe), to allow a Development Permit for the form and character of a 4 storey mixed use development.

4.0 BACKGROUND

The City of Kelowna has partnered with the New Opportunities for Women (NOW) Canada Society to develop a supportive housing project for single women and children. The City of Kelowna owns the land which is currently being used as a surface parking lot. A Housing Agreement pursuant to Section 905 of the Local Government Act filed in the land title office on the subject property is required as a condition of “group home, major” use.

5.0 THE PROPOSAL

As part of this application the subject property will be subdivided to create two lots (See Site Plan). The lot fronting Pandosy Street will be retained as a surface parking area while the Tutt Street lot will accommodate the proposed four storey mixed-use building.

The building is composed of ground level office space that will be used by the NOW Canada Society, the remaining three storeys provide a total of 39 residential units. The proposed parking scheme indicates that 13 stalls will be located under building and screened from Tutt Street and an additional 8 surface stalls are proposed. The west end of the property accommodates 17 public parking stalls that may be accessed from the abutting lane and Pandosy Street. In order to secure access from the lane an Access Agreement has been secured with the neighbouring property (2949 Pandosy Street).

The design incorporates a variety of colours and finishes (See material and colour board). The main entrance faces to the east, this entrance is used as a shared access for both the main level office space and the housing units. The landscaping plan indicates that one street tree will be removed from the Tutt Street frontage in order to accommodate the entrance, an additional street tree will be added in front of the screened parking area. Two additional trees will be planted near the play structure while various plantings are spread throughout the site. Vehicular access is via the lane to the north of the subject property.

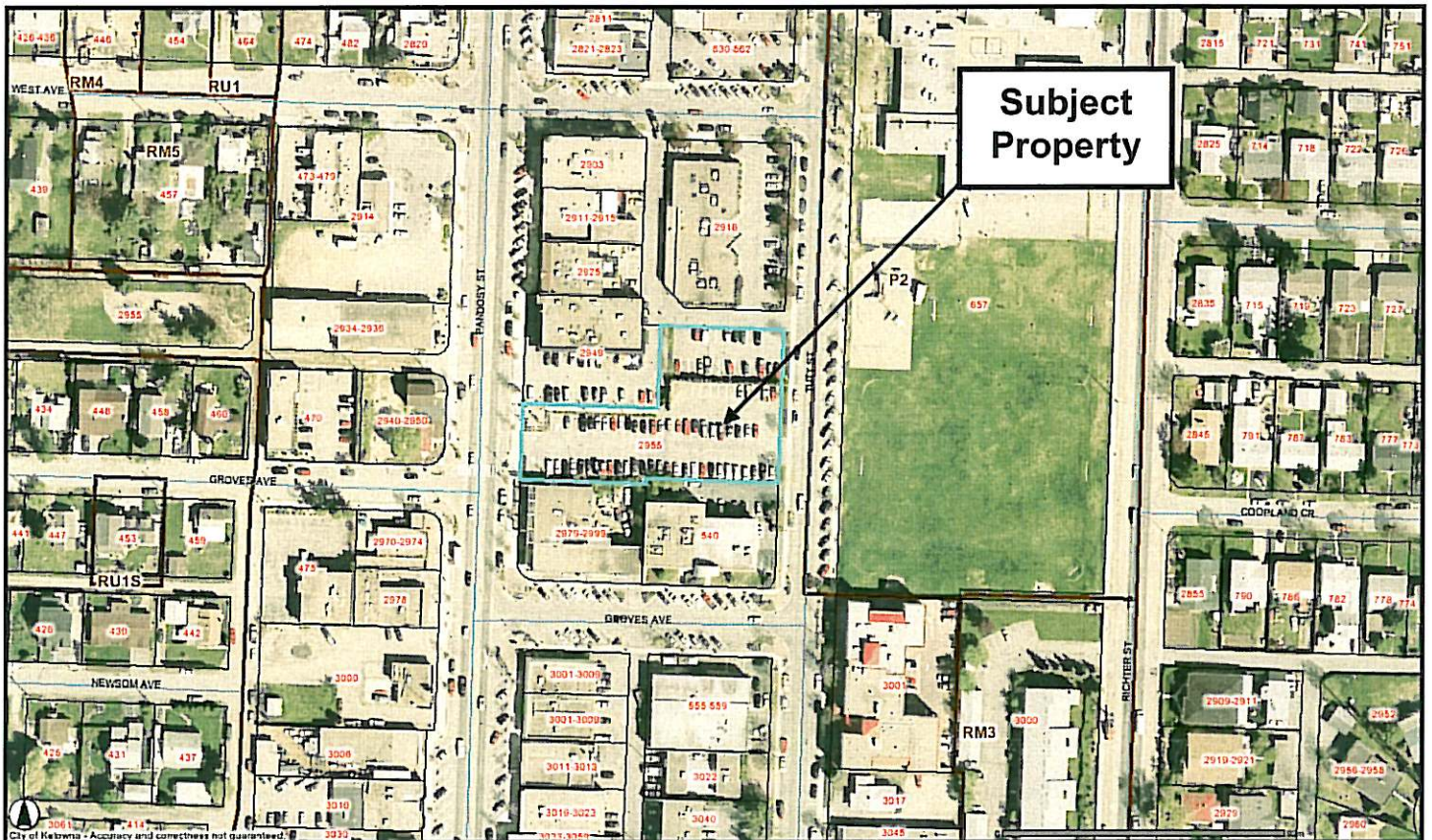
The application complies with the requirements of Zoning Bylaw No. 8000 as follows:

Criteria	Proposal	C4 Zone Requirements
<b>Subdivision Regulations</b>		
Lot Area	2,088 m <sup>2</sup>	460 m <sup>2</sup>
Lot Width	50.0m	13.0 m

Lot Depth	43.3 m	30.0 m
<b>Development Regulations</b>		
Floor Area Ratio	1.27	<b>1.52 FAR Permitted</b> 1.3 mixed use project 0.1 Housing Agreement 0.12 Under Building Parking
Site Coverage	64%	75%
Height	14.06 m / 4 storeys	15.0 m / 4 storeys
Front Yard (Rutland Rd)	0.0 m	0.0 m
Side Yard (North)	0.0 m	0.0 m
Side Yard (South)	0.0 m	0.0 m
Rear Yard (East)	>5m	0.0 m
<b>Other Regulations</b>		
Parking Stalls	21 stalls	21 stalls
Bicycle Parking	Class I: 21 space Class II: 7 spaces	Class I: 21 space Class II: 7 spaces
Private Open Space	467 m <sup>2</sup>	465 m <sup>2</sup>

5.1 Site Location Map

2955 Pandosy Street



5.2 Site Context

The subject property is located in the Pandosy Town Centre, the adjacent zones and uses are:

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	C4 – Urban Centre Commercial	Commercial
East	C4 – Urban Centre Commercial	Commercial
South	C4 – Urban Centre Commercial	Commercial
West	P2 – Education & Minor Institutional	Raymer Elementary

6.0 CURRENT DEVELOPMENT POLICY

6.1 Official Community Plan

*8.41 – Affordable and Special Needs Housing* – Encourage the private sector to provide housing that is innovative and affordable and that is targeted to groups identified in the Housing Study, a Housing Reserve Fund Bylaw, or in a list published by the City.

*8.44 – Integration* – Encourage the sensitive integration of different housing forms in the various sectors of the City, in support of neighbourhood diversity and healthy communities.

*8.50 – Housing in the Urban Corridor* – A more varied housing supply and means of increasing affordability should be actively sought for the neighbourhoods surrounding and including the Urban Town Centres and the Highway 97 corridor extending to the north boundary of the City, north, south and east of Highway 97 as it changes to a northerly direction.

6.2 Objectives for Development within Urban Centres (OCP Chapter 6)

- All development should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP.
- All development should contribute to the creation of pedestrian-oriented streets and public spaces (connections, social interaction).
- All development should contribute to a sense of community identity and sense of place (integration of development within larger community, belonging, community cohesiveness).
- All development should facilitate access by, and minimize conflicts among pedestrian, bicycle, and vehicular modes of transportation (access, mobility).
- All development should promote safety and security of persons and property within the urban environment (CPTED).

Access

- Design should facilitate pedestrian and bicycle access.
- Vehicle access and on-site circulation should minimize interference with pedestrian movement
- Vehicle access from arterial or collector roads is discouraged. Where possible, such access should be achieved from a local road or lane.
- Pedestrian access should be clearly marked.

### Ancillary Services/Utilities

- Loading, garbage and other ancillary services should be located at the rear of buildings.
- Utility service connections should be screened from view.

### Building Massing

- Commercial, industrial and multiple-unit residential developments should be sensitive to and compatible with the massing and rhythm of the established streetscape. Detailed design features of existing buildings should be emulated if such features are of design value.
- Commercial, industrial, and multiple-unit residential developments should have no more than a one storey height gain between adjacent uses within 5.0 m of the side property line where the adjacent property is not designated for higher density redevelopment.

### Parking

- Parking areas should, wherever possible and safe, be located either under buildings or at the rear or side of main buildings.
- Pedestrian circulation areas within parking lots should be convenient and clearly identified, preferably with distinct paving and/or landscaping treatment.

### Relationship to the Street

- Buildings containing uses attracting visits from the general public should be located as close to the front property line as practical and as permitted under prevailing zoning regulations.
- People-oriented facilities (store entrances, café seating areas, displays, signage) should be focused along public streets and in front of buildings.
- Storefronts should incorporate large windows such that passers-by can see in and occupants can “look out”.
- Awnings or overhangs should be included, where suitable, to provide sheltered environments for pedestrians and to aid in energy conservation.
- Buildings at key intersections should be designed to highlight the corner. Design treatments could include setbacks at the corner, accentuated entrances and additional height using, for instance, towers and cupolas.

### Signs

- The placement, size and format of signs shall be such that signs can be easily read by pedestrians

### Walls

- End walls visible from a public street or residential lot should be finished to provide an attractive appearance. Blank or solid walls (without glazing) should not be longer than 5 m.

## 7.0 TECHNICAL COMMENTS

### 7.1 Building & Permitting

Door from stair shaft from residential floors (south elevation) to exit corridor to swing in direction of exit travel. Exit stair shaft from residential floors (north elevation) located in parkade must exit directly to exterior of building at laneway.

7.2 Development Engineering Branch  
See Attached

7.3 Fire Department

- Fire protection information not provided; fire department connection not shown.
- It appears fire flows for the complex will not be met. Engineered fire flows are required to determine if existing hydrants/fire flows are adequate and if additional hydrants/fire flows are required.
- The north exit stairs can not open into the parkade; the door is to swing in the direction of travel in the south exit stair shaft.
- The fire department does not allow grasscrete as a surface for fire department access; confirmation the grasscrete area is not part of the fire department access.
- Detailed building code analysis (detail equivalencies, if any) required for proposed building; to include exiting, fire protection information, fire department access, occupancy class, building height, construction type, among other things.

The Fire Department is now requiring the following in regards to sprinkler systems:

- Schedule B-2, 5.1: Suppression system classification for type of occupancy is required and must be submitted to the Kelowna Fire Department; as well this information is to be retained in the appropriate section of the buildings Fire Safety Plan
- Schedule B-2, 5.7 and NFPA 13: Notice to the Kelowna Fire Department Prevention Branch for their attendance during the conducting of the Acceptance test is required.
- Schedule B-2, 5.7 and NFPA 13: Copies of the Acceptance tests and Contractor's Material & Test Certificates must be submitted to the Kelowna Fire Department; in addition copies are to be retained in the appropriate section of the buildings Fire Safety Plan.
- Schedule B-2, 5.8: Maintenance program and manual for the suppression system must be submitted to the Kelowna Fire Department (electronic format if possible); in addition copies are to be retained in the appropriate section of the buildings Fire Safety Plan

8.0 LAND USE MANAGEMENT DEPARTMENT COMMENTS

The Land Use Management Department supports the proposed Development Permit for the construction of a mixed use supportive housing project within the Pandosy Town Centre. The proposed development fits with the OCP's Commercial Future Land Use Designation and the overall form and character is consistent with what would be expected within the Pandosy Town Centre. The building with its extensive glazing at grade and a readily-identifiable entrance presents a welcoming face to the street. The materials and finishes add pattern and texture that provide a high-degree of visual interest, of note is the Blue Stained Pine (Beetle Kill Pine) that will be used to enclose the under-building parking area. The scale and massing of the project will fit into the context of the South Pandosy commercial area.

The programmed outdoor space will be a great amenity for the development, while the fence enclosing the play area allows for a strong visual interconnection between the adjoining properties. From a Crime Prevention Through Environmental Design standard (CPTED) the proposed development has addressed a number of potential safety issues associated with the redevelopment of this site. The orientation of the building provides a consistent streetscape and a safe and secure parking area is provided. The rear of the building will be overlooked by three floors of residential apartment units. Council has given direction to Staff that there should be a

no net loss of parking associated with this project. Staff are currently working on securing alternate locations within the Pandosy Town Centre to ensure that this objective is met.

*for*   
\_\_\_\_\_  
Danielle Noble  
Urban Land Use Manager

Approved for Inclusion 

Shelley Gambacort  
Director of Land Use Management

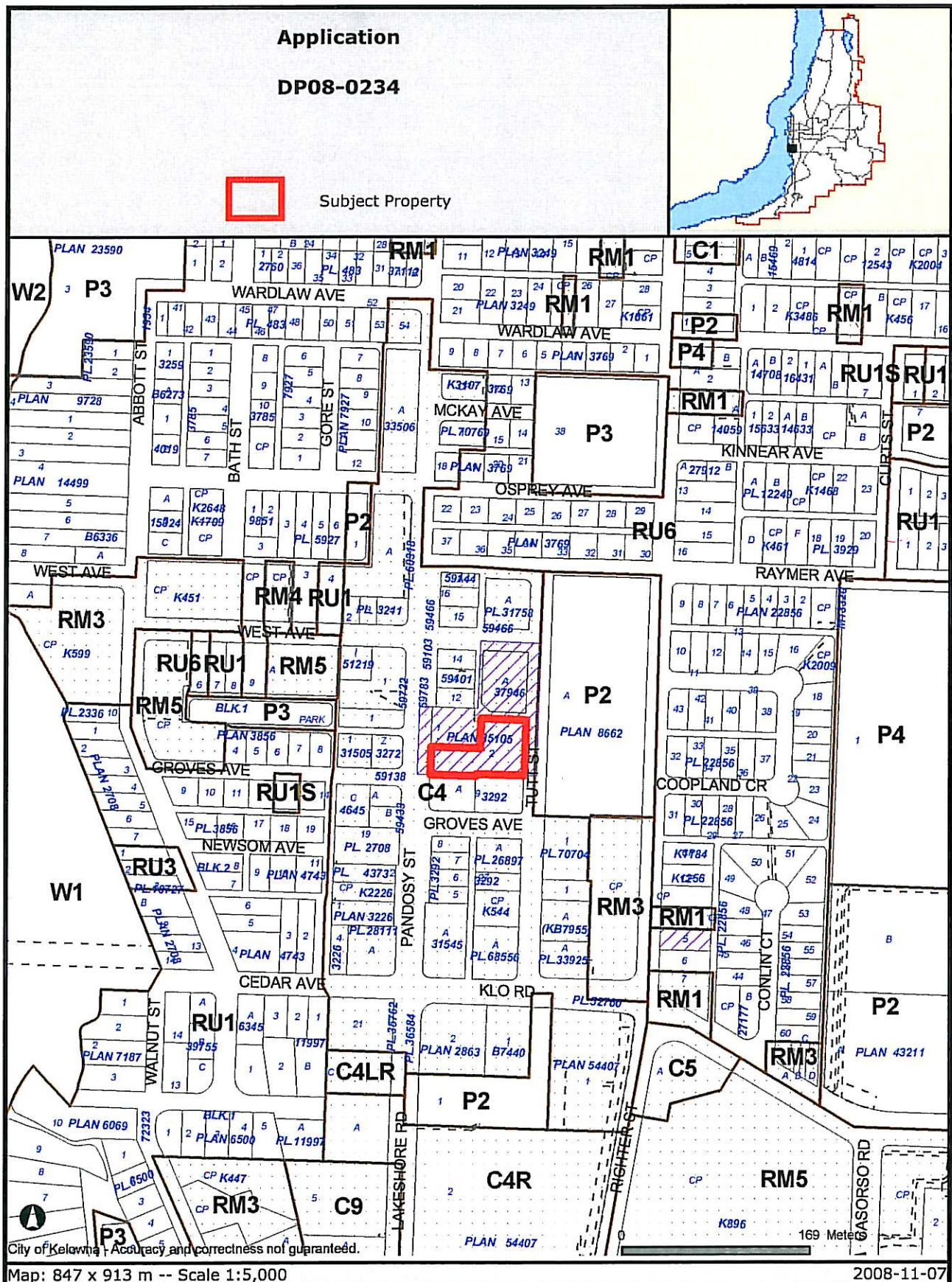
SG/DN/aw

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**ATTACHMENTS**

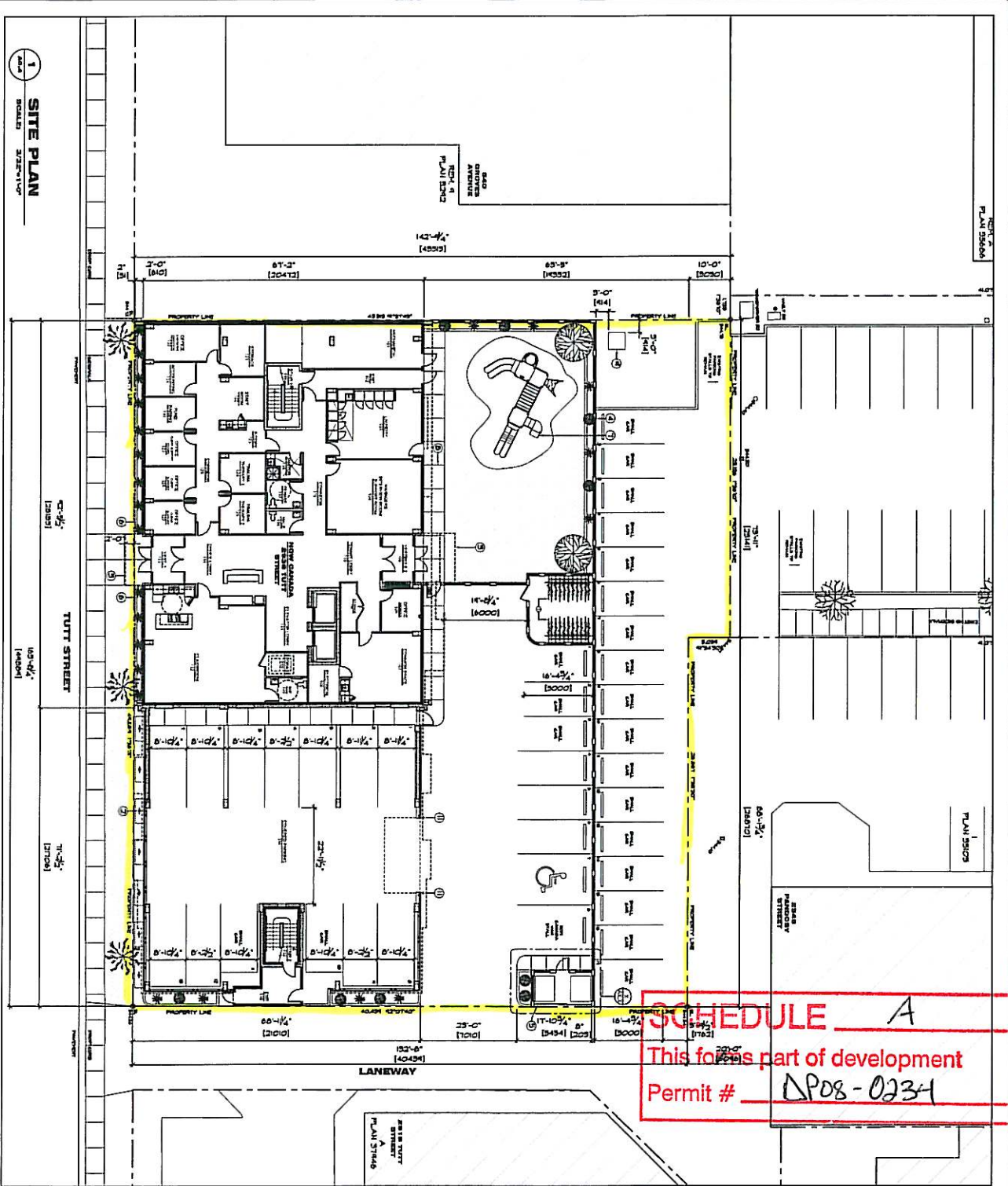
- Location Map
- Site Plan & Elevations
- Colour & Materials Board
- Elevations
- Site/Landscape Plan





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.





**CIVIC ADDRESS:**  
326 UPLANDS DR  
CANADA V1W 4L7

**LEGAL DESCRIPTION:**  
THE SOUTH 1/2 OF THE SOUTH 1/4 OF LOT 1, B.L.M. 1/4 SECTION 16, T-12N, R-12W, DISTRICT OF SURREY, B.C. 1/4 SECTION 16, T-12N, R-12W, DISTRICT OF SURREY, B.C.

**SURVEY NOTES:**  
1. ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE SURVEY DATA PROVIDED BY THE SURVEYOR.  
2. THE SURVEY DATA IS BASED ON THE SURVEY OF 1998.  
3. THE SURVEY DATA IS BASED ON THE SURVEY OF 1998.  
4. THE SURVEY DATA IS BASED ON THE SURVEY OF 1998.

**GENERAL NOTES:**  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
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3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**PHILIP MACDONALD ARCHITECT INC.**  
326 UPLANDS DR  
CANADA V1W 4L7  
TEL (604) 764 4187  
FAX (604) 764 4837  
PHILIPMACDONALD.COM

**PROJECT TITLE:**  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR

**DATE:**  
2008

**REVISIONS:**  
1. Initial Design Review  
2. Final Design Review

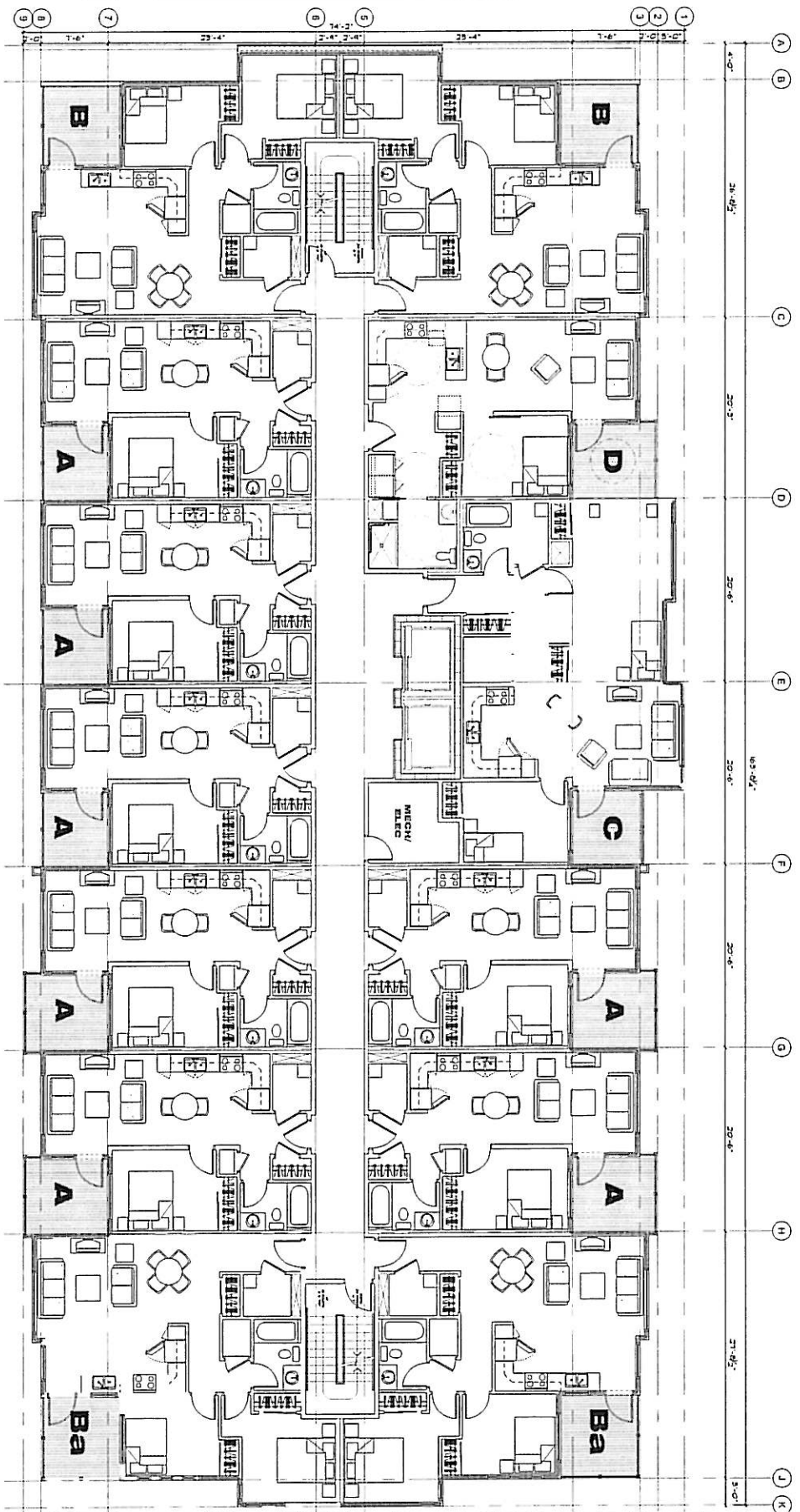
**PROJECT TITLE:**  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR  
326 UPLANDS DR

**DATE:**  
2008

**REVISIONS:**  
1. Initial Design Review  
2. Final Design Review

**AO.4**

**1 SECOND FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**Second Floor Plan**  
 DATE: ISSUED FOR:  
 9 MAY 2008 User Review  
 1 MAY 2008 Development Permit  
 PROJECT TITLE:  
**'Now Canada'**  
 30 Dwelling Units,  
 Program Support  
 Administrative  
 Offices  
 3030 7th Street  
 Redmond, B.C.  
 SHEET TITLE:  
**A2.1**

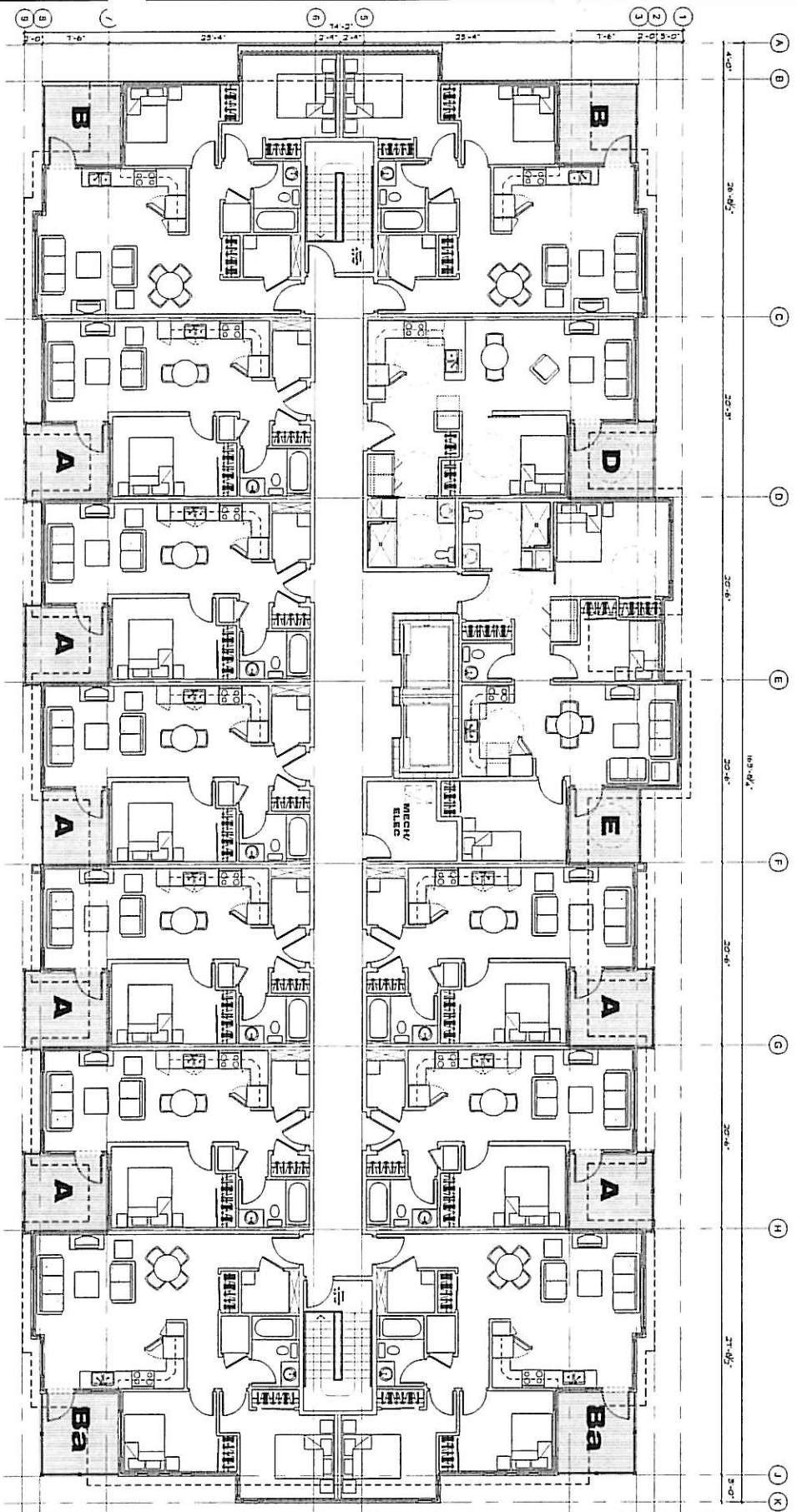
**PHILIP MACDONALD ARCHITECT INC.**  
 320 UPLANDS DR  
 KELLOWNA, B.C.  
 CANADA V1W 4J7  
 TEL (250) 784 4157  
 FAX (250) 784 4887  
 PHARCHIT@ISHAW.CA

**DESIGN CONDITIONS**  
 This set of architectural plans and specifications shall be read in conjunction with the General Conditions of Contract, the Program Support and Administrative Offices, and the Specifications for the construction of the building. The Architect shall be responsible for the design and construction of the building. The Contractor shall be responsible for the construction of the building. The Architect shall be responsible for the design and construction of the building. The Contractor shall be responsible for the construction of the building.

**DATE NORTH**

**Second Floor Plan**  
 DATE: ISSUED FOR:  
 9 MAY 2008 User Review  
 1 MAY 2008 Development Permit  
 PROJECT TITLE:  
**'Now Canada'**  
 30 Dwelling Units,  
 Program Support  
 Administrative  
 Offices  
 3030 7th Street  
 Redmond, B.C.  
 SHEET TITLE:  
**A2.1**





1  
SCALE: 1/8" = 1'-0"  
FOURTH FLOOR PLAN

**PHILIP MACDONALD ARCHITECT INC.**  
 316 UPLANDS DR.  
 KILGOWNA, B.C.  
 CANADA V1W 4J7  
 TEL: (250) 764 4137  
 FAX: (250) 764 4837  
 PHILIP@PHILIPMACDONALD.COM

**GENERAL CONDITIONS:**  
 THIS PLAN AND SPECIFICATIONS are prepared and issued for the purpose of providing a general guide to the construction of the building. The contractor is responsible for obtaining all necessary permits and for providing all materials and labor. The architect is not responsible for the construction of the building or for the safety of the building during or after construction.

DATE: \_\_\_\_\_ SCHEDULE FOR:  
 IN DATE: \_\_\_\_\_ CLIENT: \_\_\_\_\_  
 1. NO. 2008 (Development Permit)

NO.	DATE	REVISION

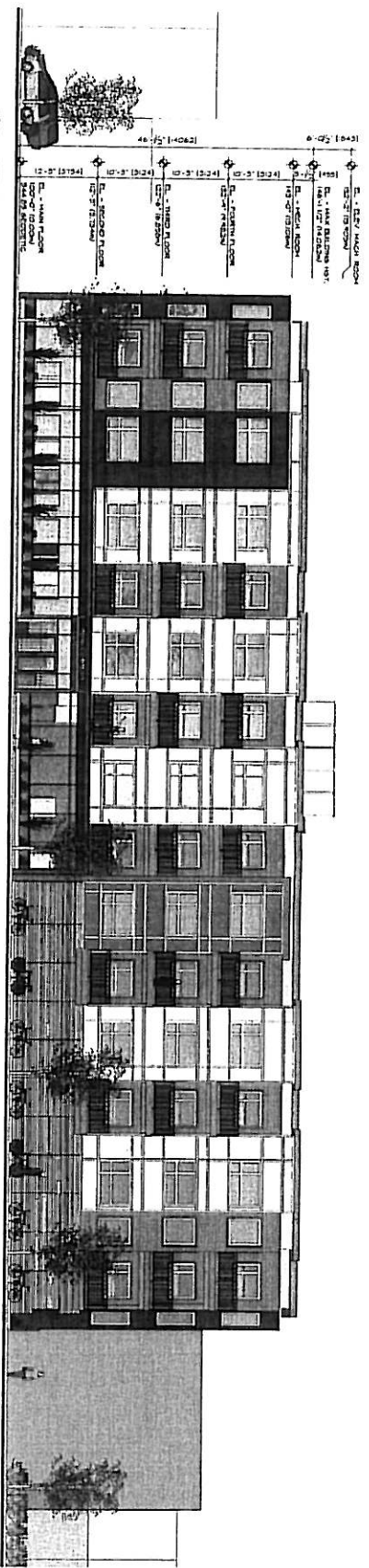
**PROJECT TITLE:**  
**"NOW Canada"**  
 20 Dwelling Units,  
 Park Area and  
 Administrative  
 Offices  
 8828 TOWN STREET  
 KILGOWNA, B.C.

**FOURTH FLOOR PLAN**  
 The architect warrants that this plan is a true and correct representation of the design and construction of the building as intended by the architect. The architect is not responsible for the construction of the building or for the safety of the building during or after construction.

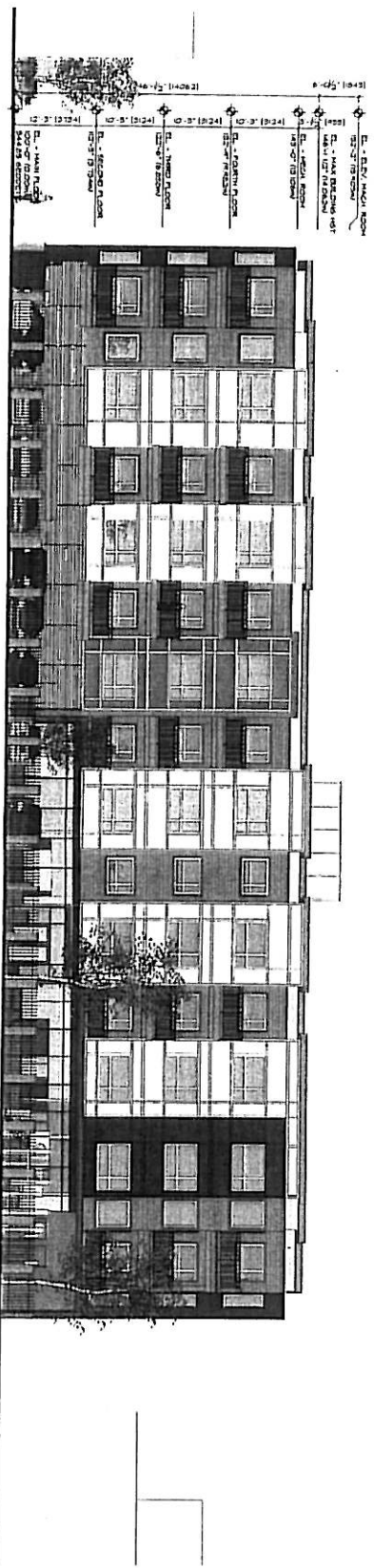
**SCALE:** 1/8" = 1'-0"  
 SHEET NUMBER: **A2.3**







1 FRONT ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION - WEST  
SCALE: 1/8" = 1'-0"

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INC**

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FAX (250) 764 4887  
PHILIP@MACDONALDARCH.COM

**SITE NORTH**

GENERAL CONDITIONS:  
Check the work of this office and the work of others on the site for compliance with the requirements of the contract documents. The architect is not responsible for the accuracy of the information provided by others on the site. The architect is not responsible for the accuracy of the information provided by others on the site. The architect is not responsible for the accuracy of the information provided by others on the site.

DATE	ISSUED FOR
9 Oct 2018	Issue Setback
1 Nov 2018	Development Permit

DATE	REVISION

**PROJECT TITLE:**  
**'NOW Canada'**  
39 Dwelling Units,  
Program Support  
Areas and  
Offices

3939 TURT STREET  
KELLOWNA, BC

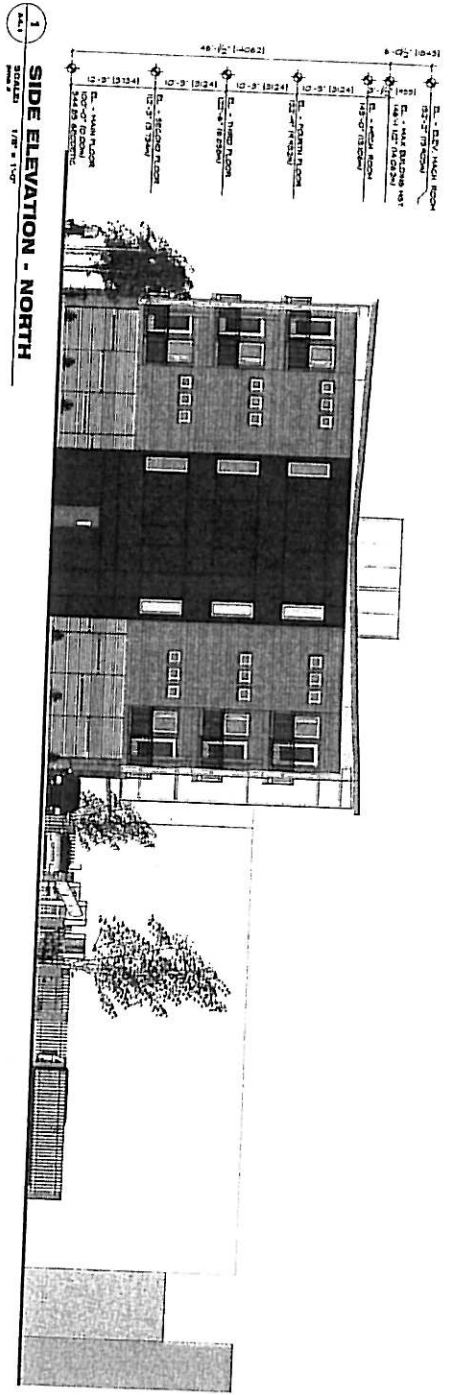
**SHEET TITLE:**  
**Front (East) and  
Rear (West)  
Elevations**

PHILIP MACDONALD ARCHITECT INC. 2018. All rights reserved. This drawing is the property of Philip Macdonald Architect Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Philip Macdonald Architect Inc.

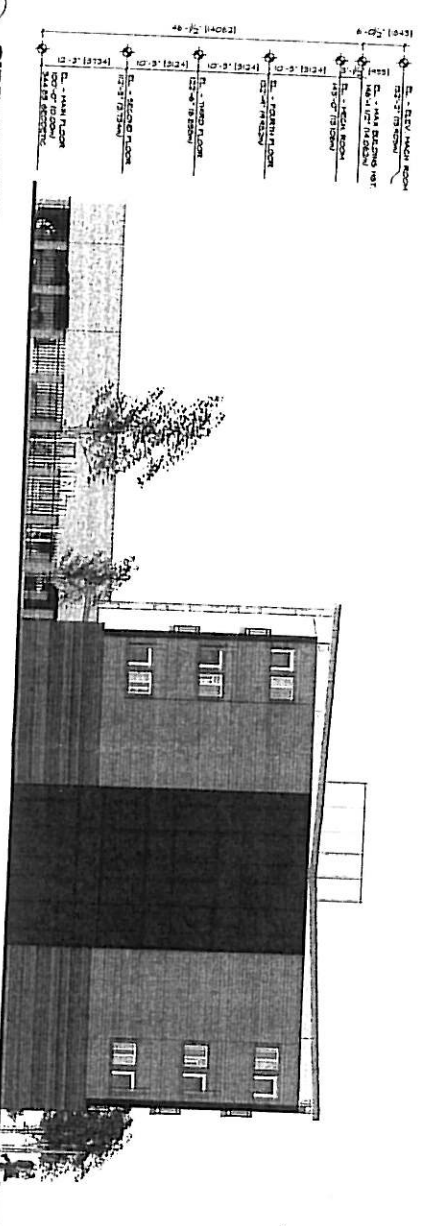
PH No. 2220-N01-C000

Scale	1/8" = 1'-0"
Sheet	25
Checked	PH
DATE	1/11

**A4.0**



1  
SIDE ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



2  
SIDE ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

PHILIP  
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ARCHITECT  
INC  
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KELLOWAY, BC  
CANADA V1W 4J7  
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FAX (250) 764 4137  
PHILIP@PHILIPMAC.COM

**SITE VERTICAL**

VERTICAL LOCATION  
This drawing is not to scale and is for informational purposes only. It is not intended to be used for construction or other purposes. The vertical location of the building is shown for reference only. The actual vertical location of the building may vary due to site conditions and other factors. The vertical location of the building is shown for reference only. The actual vertical location of the building may vary due to site conditions and other factors.

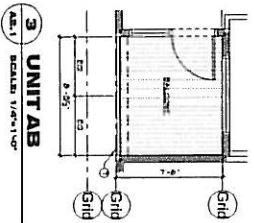
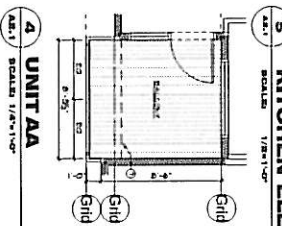
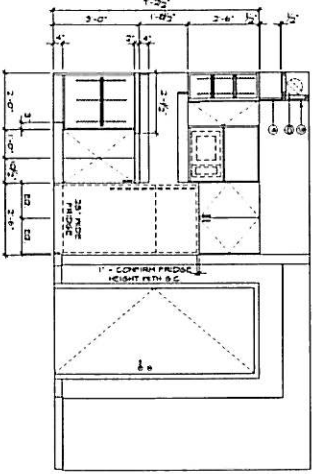
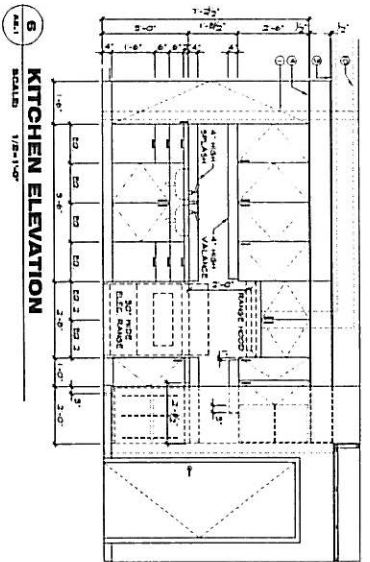
DATE:	PROJECT CODE:
9 Oct 2008	044-8000
1 Nov 2008	Construction Permit
DATE:	REVISION:

**PROJECT TITLE:**  
**NOW Canada**  
 28 Dwelling Units,  
 Program Support  
 Administrative  
 Offices  
 8288 York Street  
 Kelowna, B.C.

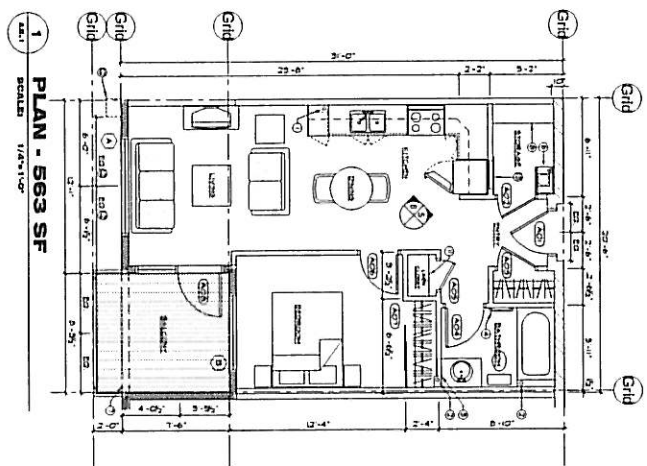
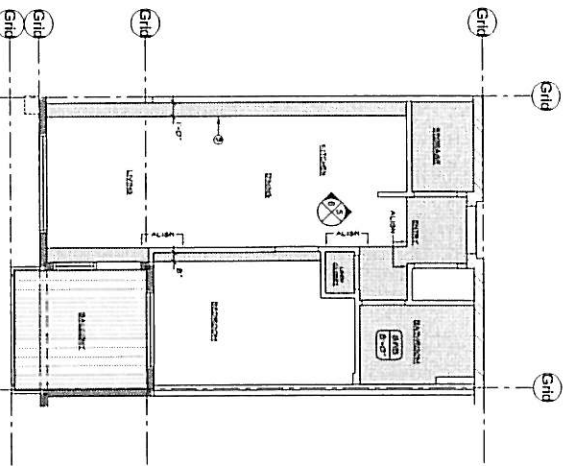
**SHEET TITLE:**

Side North and  
South Elevations  
 CONTRACT DOCUMENTS  
 28 Nov 2008  
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**A4.1**





- GENERAL NOTES:**
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- KEYNOTES:**
1. MECHANICAL, PLUMBING, ELECTRICAL, AND SINKING.
  2. MECHANICAL, PLUMBING, ELECTRICAL, AND SINKING.
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  20. MECHANICAL, PLUMBING, ELECTRICAL, AND SINKING.



**PHILIP MACDONALD ARCHITECT INC.**

326 UPLANDS DR  
KELOWNA BC  
CANADA V1W 4J7  
TEL: (250) 784 4197  
FAX: (250) 784 4897  
PHILIP@PHILIPMACDONALD.COM

**GENERAL CONDITIONS:**

1. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTY SYSTEMS. THE ARCHITECT SHALL BE CONSULTED BY THE OWNER FOR THE DESIGN OF THESE SYSTEMS.

2. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTY SYSTEMS. THE ARCHITECT SHALL BE CONSULTED BY THE OWNER FOR THE DESIGN OF THESE SYSTEMS.

DATE:	REVISED FOR:
NO. OF SHEETS:	TOTAL SHEETS:
PROJECT TITLE:	PROJECT LOCATION:
CLIENT:	ARCHITECT:
DESIGNER:	DRAWN BY:
CHECKED BY:	DATE:

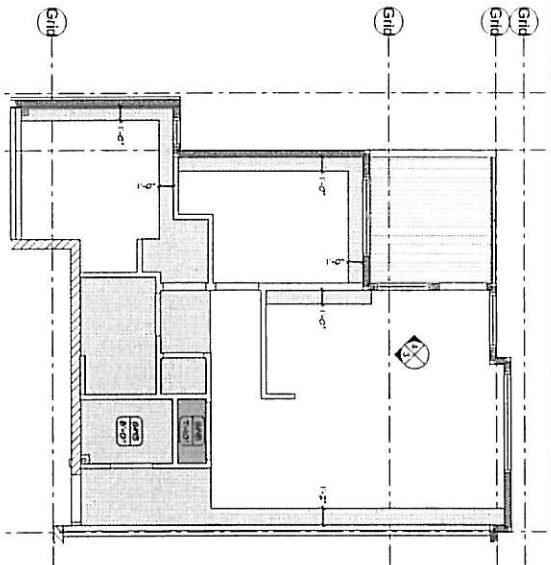
**PROJECT TITLE:**  
**'Now Canada' as Dwelling Units, Program Support Administrative Offices**

8828 Tual Street  
Bellevue, WA, DC

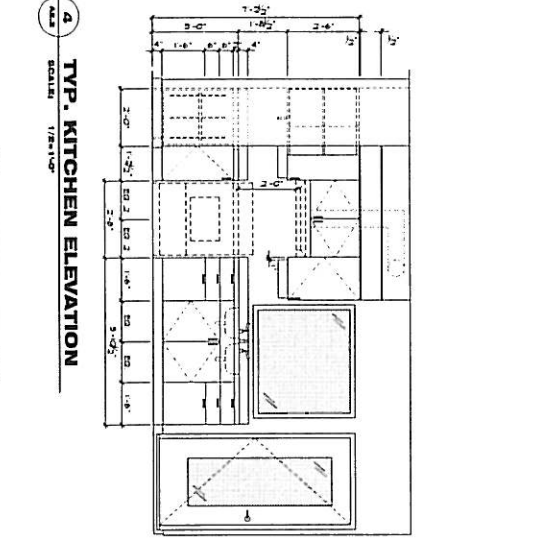
**Unit Plan**  
**Unit A and B**

CONTRACT NO. 2010-01-01  
DATE OF ISSUE: 10/1/10  
SCALE: 1/8"=1'-0"

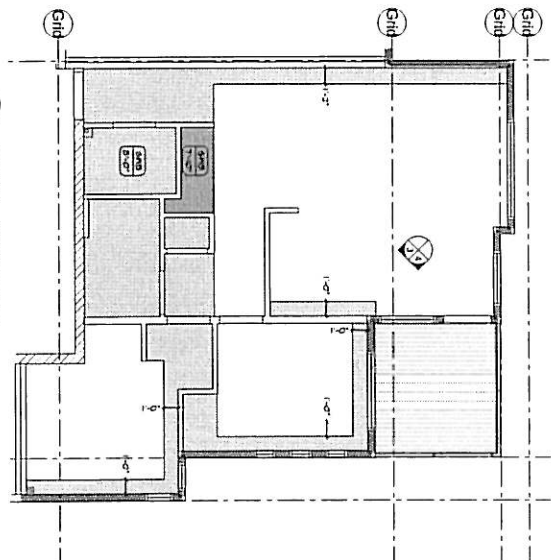
**A2.1**



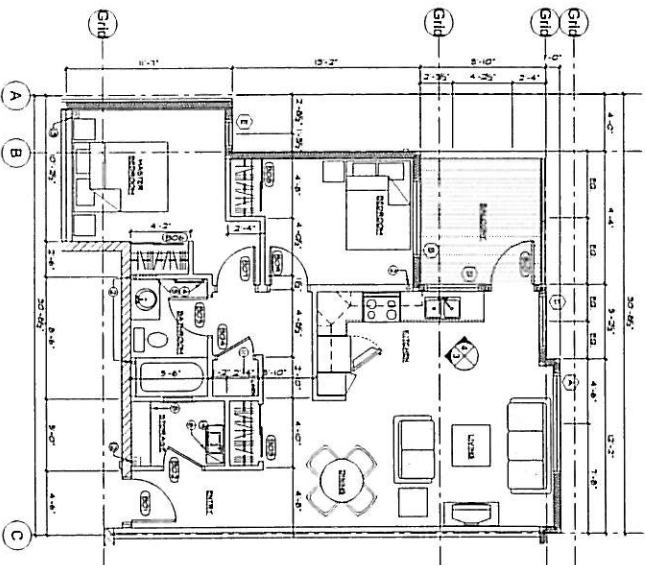
**6 RCP - UNIT B**  
SCALE: 1/8"=1'-0"



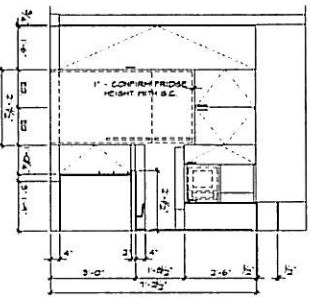
**4 TYP. KITCHEN ELEVATION**  
SCALE: 1/8"=1'-0"



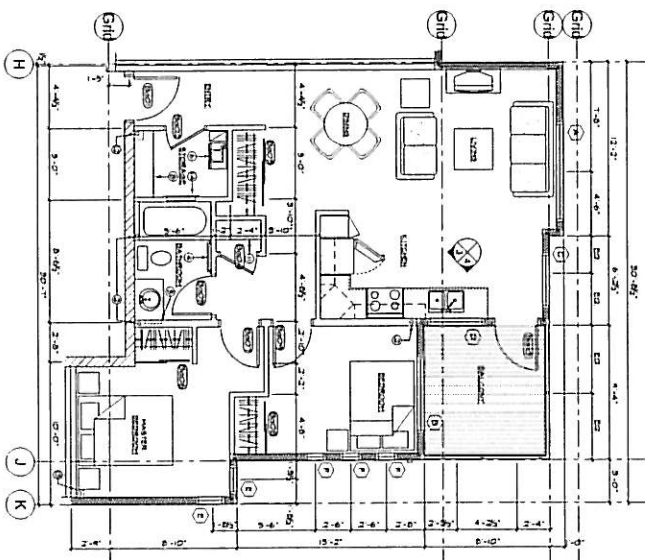
**2 RCP - UNIT Ba**  
SCALE: 1/8"=1'-0"



**5 PLAN - UNIT B - 786 SF**  
SCALE: 1/8"=1'-0"




**3 TYP. KITCHEN ELEVATION**  
SCALE: 1/8"=1'-0"



**1 PLAN - UNIT Ba - 806 SF**  
SCALE: 1/8"=1'-0"

**GENERAL NOTES:**

- MECHANICAL PLUMBING STACK, BEHIND PAINT, TO BE LOCATED IN THE WALL AS SHOWN. ALL PIPING SHALL BE INSULATED AND SUPPORTED.
- MECHANICAL PLUMBING STACK, BEHIND PAINT, TO BE LOCATED IN THE WALL AS SHOWN. ALL PIPING SHALL BE INSULATED AND SUPPORTED.
- MECHANICAL PLUMBING STACK, BEHIND PAINT, TO BE LOCATED IN THE WALL AS SHOWN. ALL PIPING SHALL BE INSULATED AND SUPPORTED.
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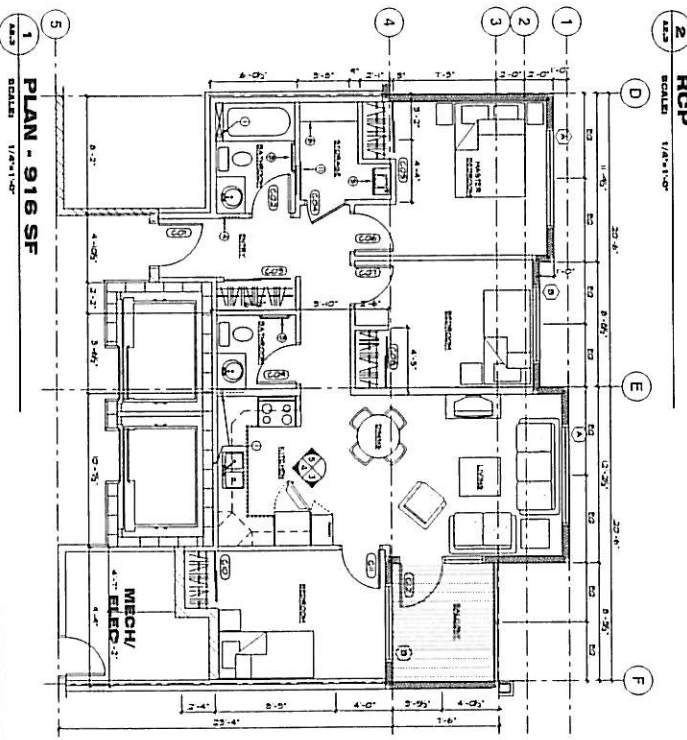
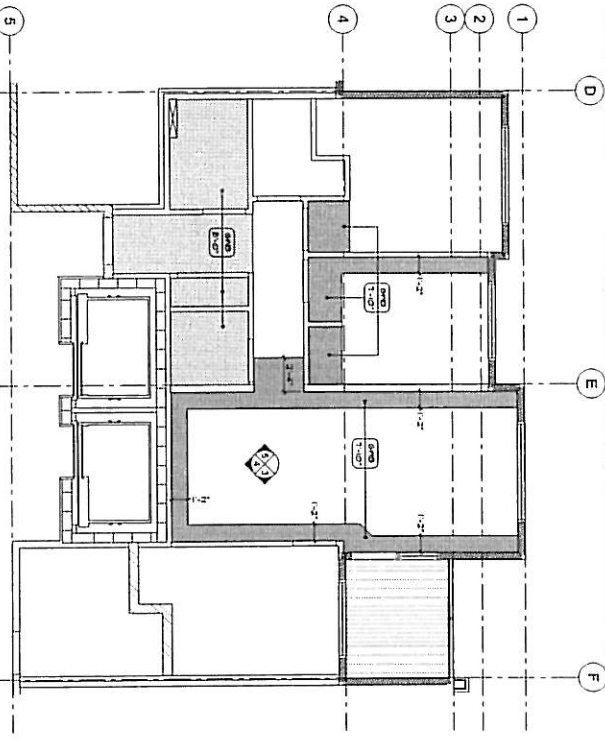
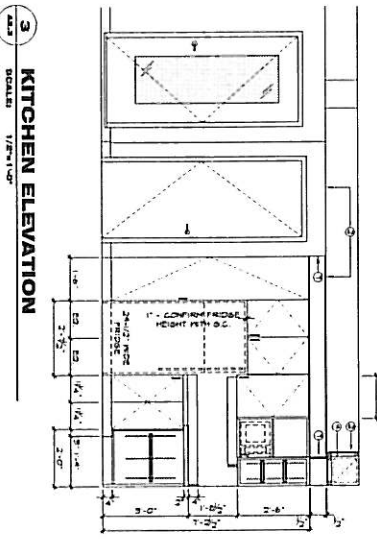
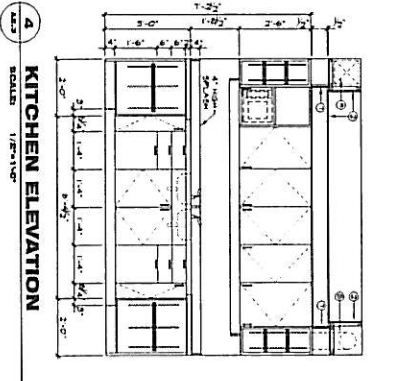
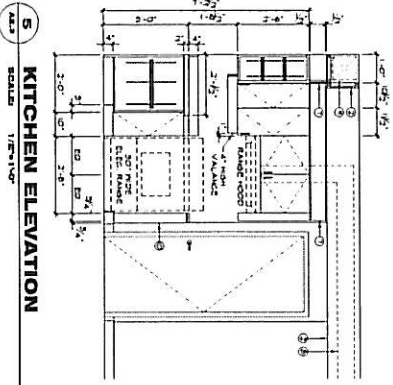
<p><b>PHILIP MACDONALD ARCHITECT INC.</b> 326 UPLANDS DR KELOWNA, BC CANADA V1W4J7 TEL (250) 784 4187 FAX (250) 784 4887 PHILIP@PHILIPMAC.COM</p>		<p><b>ARCHITECT SEAL</b></p> 
<p><b>PROJECT TITLE</b> Now Canada 36 Dwelling Units, Program Support Administrative Offices</p> <p>3264 Park Street Kelowna, B.C. S2527 113-6</p>		<p><b>DATE:</b> 10/21/13 <b>SCALE:</b> 1/8"=1'-0"</p> <p><b>DESIGNER:</b> PHILIP MACDONALD <b>DATE:</b> 10/21/13 <b>SCALE:</b> 1/8"=1'-0"</p>
<p><b>UNIT PLAN</b> UNIT B - 786 SF UNIT Ba - 806 SF</p> <p>DATE: 10/21/13 SCALE: 1/8"=1'-0"</p>		
<p><b>SHEET NUMBER:</b> <b>A2.2</b></p>		

**GENERAL NOTES:**

- 1. REFER TO ALL ROOM SCHEDULES FOR ALL CABINETS, TOPS, AND SINKS DATA.

**KEYNOTES:**

- 1. MECHANICAL FLOORING SYMBOLS REFER TO MECH. FLOOR PLAN.
- 2. FINISHED CEILING OR BALUNDED REFER TO REFLECTED CEILING PLAN FOR HEIGHT.
- 3. FINISHED FLOOR HEIGHT AT 4'-0" ABOVE FINISHED GRADE.
- 4. REFER TO LOCAL/STATE MEDICAL CABINET IN MECHANICAL FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 5. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 6. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 7. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 8. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 9. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 10. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 11. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.
- 12. REFER TO MECH. FLOOR PLAN FOR REFER TO MECHANICAL DRAWINGS.



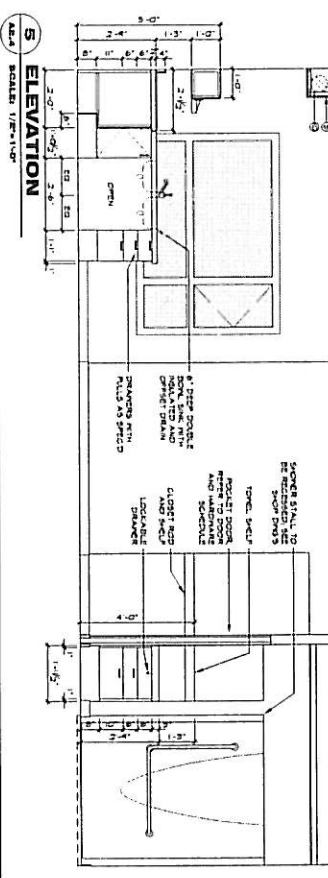
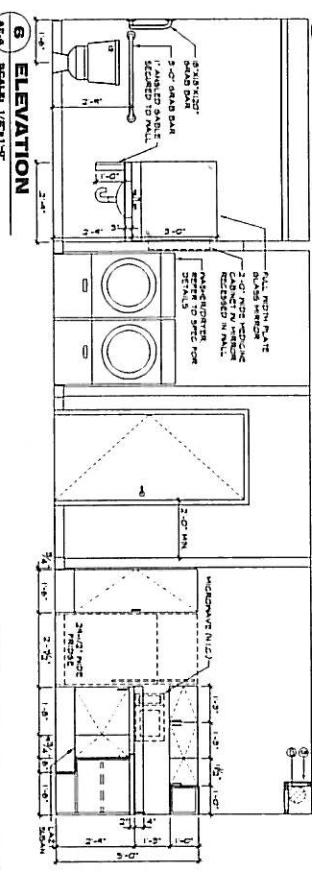
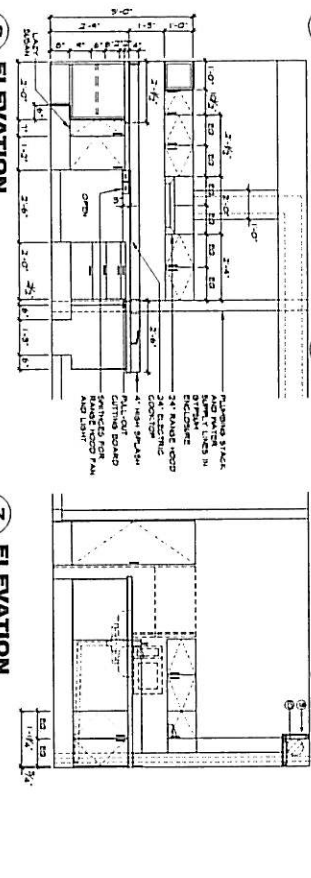
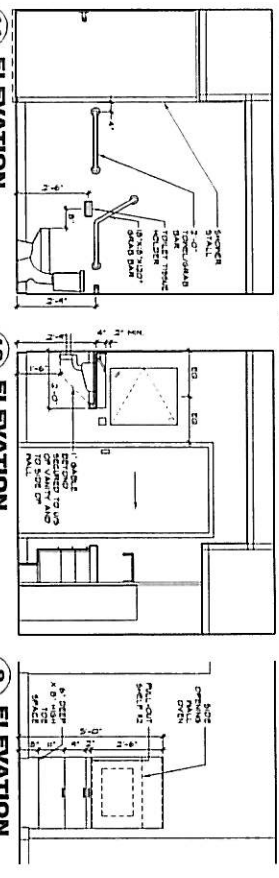
**PHILIP MACDONALD ARCHITECT INC.**  
 326 UPLANDS DR  
 KEOUWVA, BC  
 CANADA V1W 4J7  
 TEL: (250) 764 4187  
 FAX: (250) 764 4887  
 PHILIP@PHILIPMACDONALD.COM

**GENERAL CONDITIONS:**  
 The drawings shall be used for the purpose of construction only. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for the accuracy of the information provided on the drawings. The contractor shall be responsible for the completion of the project in accordance with the drawings and specifications. The contractor shall be responsible for the maintenance of the project until the completion of the project.

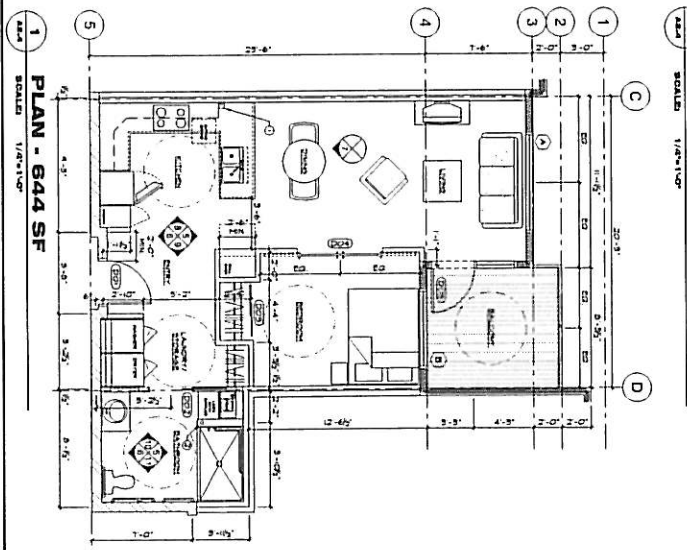
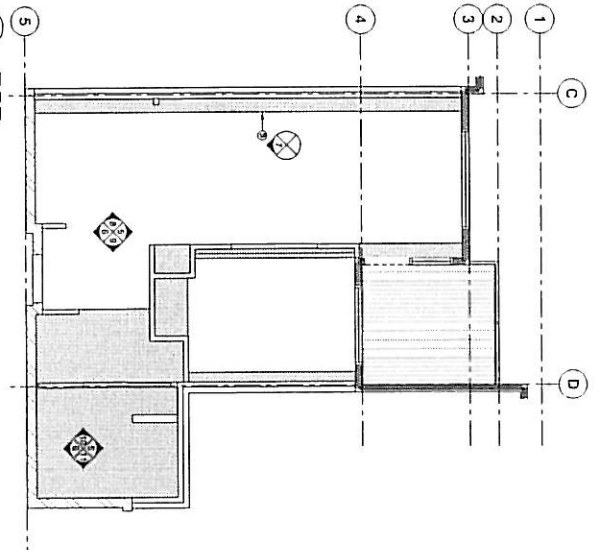
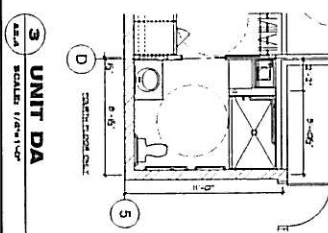
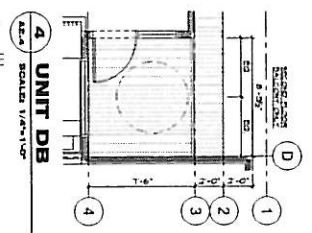
**PROJECT TITLE:**  
**NOV Canada**  
 326 Uplands Drive  
 KEOUWVA, BC  
 Architectural  
 Drawings and  
 Specifications

**DATE:** 15/04/2018  
**BY:** J. [Name]  
**FOR:** [Name]  
**PROJECT TITLE:** NOV Canada  
**326 Uplands Drive**  
**KEOUWVA, BC**  
**Architectural**  
**Drawings and**  
**Specifications**

**A2.3**



- GENERAL NOTES:**
1. PROVIDE YOUR BLOCKING AND BRACING PLAN TO THE CONTRACTOR TO BE INSTALLED BEFORE ANY EXTERIOR FINISHES ARE APPLIED.
  2. MECHANICAL PLUMBING STACK AND AIR INTAKE SHALL BE INSTALLED AND SUPPORTED PRIOR TO THE CONSTRUCTION OF THE EXTERIOR WALL AND REFER TO SECTION 0505.
  3. MECHANICAL PLUMBING STACK REFER TO SECTION 0505 FOR DETAILS ON BLOCKING REFER TO SECTION 0505 FOR DETAILS ON BRACING.
  4. 2x4 WALL BRACING ASSEMBLY REFER TO SECTION 0505 FOR DETAILS.
  5. MECHANICAL SCAFFOLDING REFER TO SECTION 0505 FOR DETAILS.
  6. LINE OF FINISH ABOVE TO SUPPORT HANG AND PARTIAL FLOOR BLOCKING REFER TO SECTION 0505 FOR DETAILS.
  7. HANG HOOK BRACING REFER TO SECTION 0505 FOR DETAILS.



**PHILIP MACDONALD ARCHITECT INC.**  
328 UPLANDS DR  
KELOWNA BC  
CANADA V1W 4J7  
TEL: (250) 764 4157  
FAX: (250) 764 4857  
PHILIP@MACDONALDARCHITECT.COM

**PROJECT TITLE:**  
3B Dwelling Units,  
Program Support  
Administrative  
Offices

**ARCHITECT:**  
PHILIP MACDONALD ARCHITECT INC.

**UNIT PLAN**  
UNIT DA, DB & DP

**PROJECT TITLE:**  
3B Dwelling Units,  
Program Support  
Administrative  
Offices

**ARCHITECT:**  
PHILIP MACDONALD ARCHITECT INC.

**DATE:** 2024.08.28  
**SCALE:** 1/8"=1'-0"

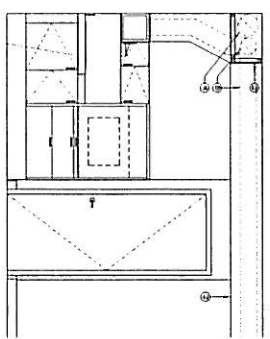
**PROJECT TITLE:**  
3B Dwelling Units,  
Program Support  
Administrative  
Offices

**ARCHITECT:**  
PHILIP MACDONALD ARCHITECT INC.

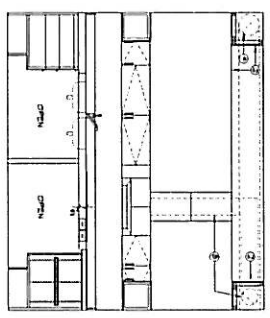
**A2.4**

**GENERAL NOTES:**

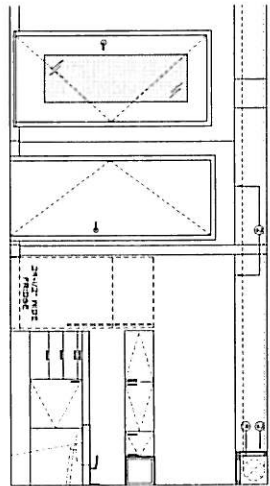
1. PROVIDE FLOOR FINISHES BEING FULLY FINISHED FLOOR AND CEILING FINISHES.
2. MECHANICAL, PLUMBING STACK, REFER TO MECH-PLAN'S.
3. PROVIDE FINISHES OF BATHROOM REFER TO MECH-PLAN'S.
4. 3" TYP. TYP. DIM HEIGHTS AT 4'-0" ABOVE FINISH FLOOR.
5. PROVIDE UPWARDS VENTILATION CABINETRY.
6. MECHANICAL, HEAT PUMP UNIT REFER TO MECH-PLAN'S DRAWINGS.
7. PROVIDE 3" TYP. TYP. DIM HEIGHTS ABOVE FINISH FLOOR.
8. PROVIDE FLOOR FINISHES BEING FULLY FINISHED FLOOR AND CEILING FINISHES.
9. MECHANICAL, HEAT PUMP UNIT REFER TO MECH-PLAN'S DRAWINGS.
10. PROVIDE FLOOR FINISHES BEING FULLY FINISHED FLOOR AND CEILING FINISHES.
11. PROVIDE FLOOR FINISHES BEING FULLY FINISHED FLOOR AND CEILING FINISHES.



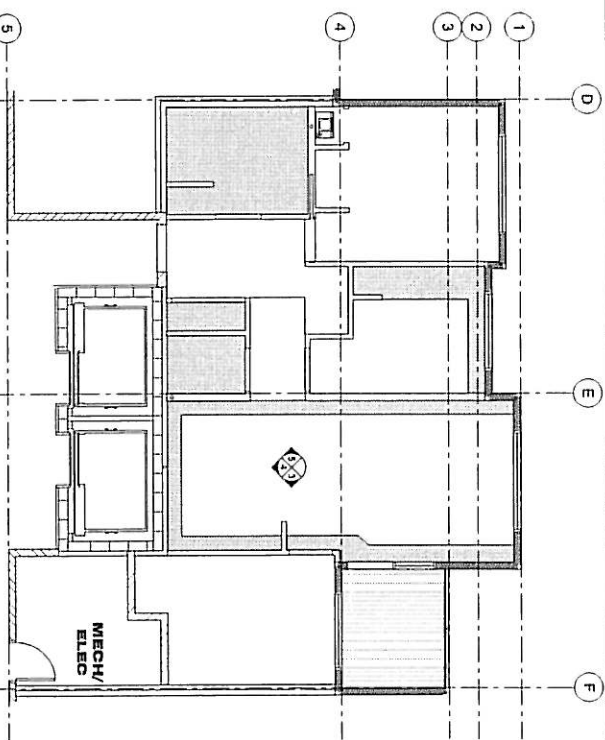
**B KITCHEN ELEVATION**  
SCALE: 1/8"=1'-0"



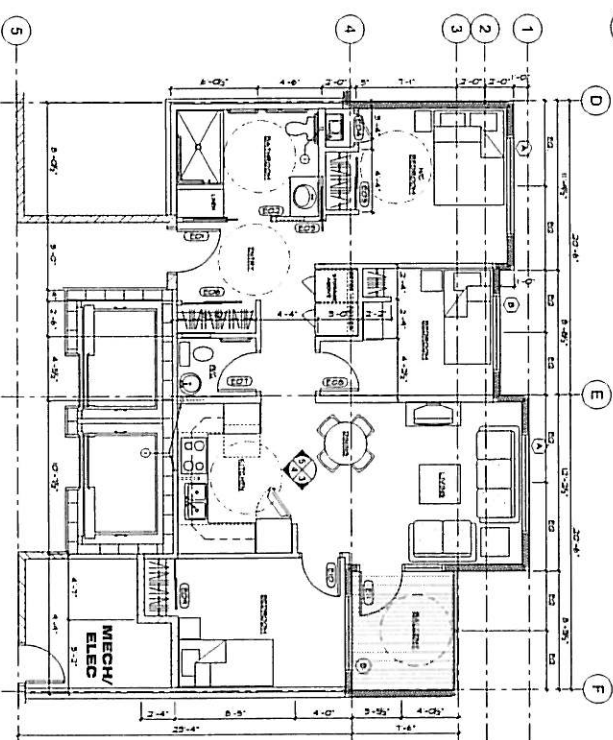
**A KITCHEN ELEVATION**  
SCALE: 1/8"=1'-0"



**3 KITCHEN ELEVATION**  
SCALE: 1/8"=1'-0"



**2 RCP**  
SCALE: 1/8"=1'-0"



**1 PLAN - 898 SF**  
SCALE: 1/8"=1'-0"

**PHILIP MACDONALD ARCHITECT INC.**  
328 UPLANDS DR  
KELOWNA, BC  
CANADA V1W4J7  
TEL (250) 768 4187  
FAX (250) 768 4887  
PHILIP@PHILIPMACDONALD.COM



**GENERAL CONDITIONS:**  
This set of drawings is to be used for the construction of the project. It is the responsibility of the contractor to verify all dimensions and conditions on site. The architect is not responsible for any errors or omissions in the drawings or for any conditions not shown. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect is not responsible for any delays or cost overruns caused by the contractor's failure to comply with these conditions.

DATE:	ISSUED FOR:
NO. OF SETS:	Client Review
BY:	2288 Development Project
FOR:	2288 Development Project
BY:	2288 Development Project
DATE:	2023-08-24

**PROJECT TITLE:**  
328 Uplands Dr  
328 Dwelling Units  
Program Support  
Administrative  
Offices  
3288 Paul Street  
Kelowna, BC

**Unit Plans**  
UNIT #  
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**A2.5**



1 FRONT ELEVATION - EAST PERSPECTIVE  
SCALE: N/A



2 REAR ELEVATION - WEST PERSPECTIVE  
SCALE: N/A

SCHEDULE B  
This forms part of development  
Permit # DPO8-0234

PHILIP  
MACDONALD  
ARCHITECT  
INC  
328 URLANDS DR  
CANADA V1W 4J7  
TEL (604) 766 4187  
FAX (604) 768 4837  
PHILIP@MACDONALDARCHITECT.COM

DATE: 2023  
BY: [Signature]  
PROJECT TITLE: [Blank]

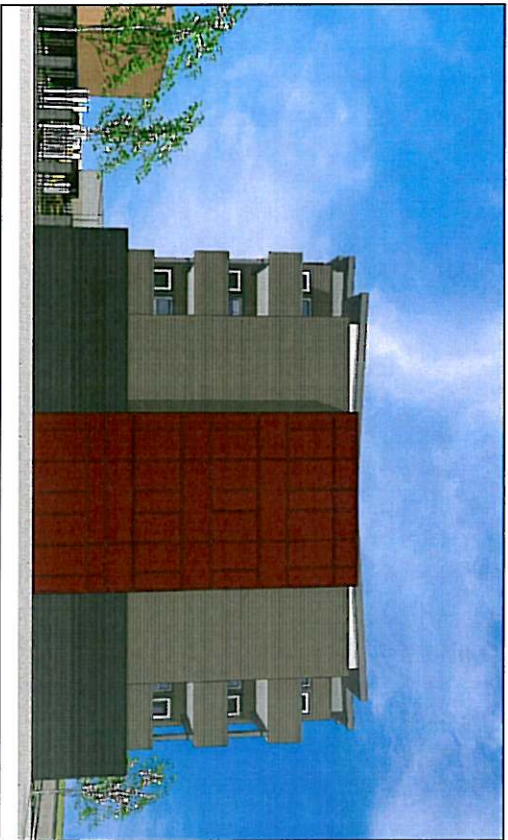
DATE	REVISION

PROJECT TITLE:  
**Now Canada**  
33 Dwelling Units,  
Program Support  
Areas and  
Administrative  
Offices  
3828 TWIN BIRCH  
VANCOUVER, B.C.

Participations  
Client: [Blank]  
Architect: [Blank]  
Contractor: [Blank]  
SHEET NUMBER:  
**A4.3**



**1**  
 SIDE ELEVATION - NORTH PERSPECTIVE  
 DATE: 2008  
 SCALE: N/A



**2**  
 SIDE ELEVATION - SOUTH PERSPECTIVE  
 DATE: 2008  
 SCALE: N/A



**3**  
 REAR OF BUILDING PERSPECTIVE  
 DATE: 2008  
 SCALE: N/A



**4**  
 REAR OF BUILDING PERSPECTIVE  
 DATE: 2008  
 SCALE: N/A

**PHILIP  
 MACDONALD  
 ARCHITECT  
 INC.**  
 338 WILKINSON DR  
 MELBOWNA, BC  
 CANADA V1W 4J7  
 TEL: (604) 764 4187  
 FAX: (604) 764 4857  
 PHILIP@PHILIPMACDONALD.COM

**GENERAL CONDITIONS:**  
 This drawing is the property of Philip Macdonald Architect Inc. and is to be used only for the project and site specified herein. It is not to be used for any other project or site without the written consent of Philip Macdonald Architect Inc. The drawing is not to be used for any other purpose without the written consent of Philip Macdonald Architect Inc. The drawing is not to be used for any other purpose without the written consent of Philip Macdonald Architect Inc.

**DATE:** 2008/12/08  
**DESIGNER:** P.M.  
**DATE:** 2008/12/08  
**CHECKED BY:** P.M.  
**DATE:** 2008/12/08  
**APPROVED BY:** P.M.

NO.	DATE	REVISION

**PROJECT TITLE:**  
**"NOW Canada"**  
 35 Dwelling Units,  
 Program Support  
 Areas and  
 Administrative  
 Offices  
 8528 7th Street  
 Kelowna, B.C.

**Scale:** 1/8" = 1'-0"  
**Sheet:** A4.4  
**Client:** PH  
**Drawn:** PH  
**Checked:** PH  
**Scale:** 1/8" = 1'-0"  
**Sheet:** A4.4  
**Client:** PH  
**Drawn:** PH  
**Checked:** PH



**1 FRONT PERSPECTIVE**  
 SCALE: N/A  
 DATE: N/A



**2 FRONT PERSPECTIVE**  
 SCALE: N/A  
 DATE: N/A



**3 FRONT PERSPECTIVE**  
 SCALE: N/A  
 DATE: N/A

**PHILIP  
 MACDONALD  
 ARCHITECT  
 INC.**  
 326 UPLANDS DR  
 KELOWNA, BC  
 CANADA V1W 4J7  
 TEL: (250) 764 4187  
 FAX: (250) 764 4887  
 PHILIP@PHILIPMACDONALD.COM

**DATE:** 2018.10.25  
**DESIGNED BY:** Philip Macdonald  
**DATE:** 2018.10.25  
**DESIGNED BY:** Philip Macdonald

#	DATE	REVISION

**PROJECT TITLE:**  
**'NOW Canada'**  
 326 Dwelling Units  
 Program support  
 Areas and  
 Administrative  
 Offices  
 3525 7th Street  
 Kelowna, B.C.

**Peripherals**  
 CONSULTING: The quality of the work is the responsibility of the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

DATE: 2018.10.25  
 DRAWING: 01  
 SHEET NUMBER: **A4.5**



# now canada

2938 tutt street, kelowna, bc

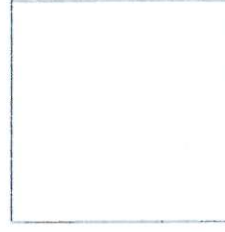
colour - exterior treatment finish schedule



Countrylane Red



Navajo Beige



Arctic White

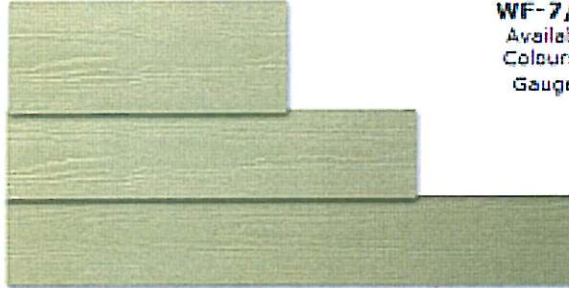


Iron Gray

## James Hardie Smooth Panel Siding and Trim

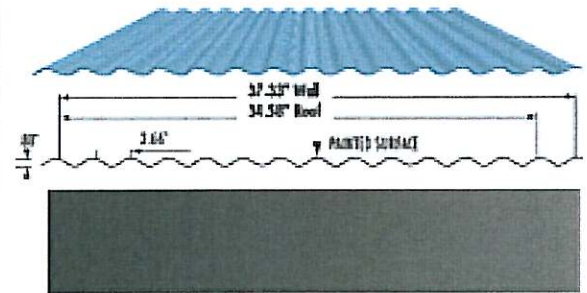


Timber Bark



James Hardie Plank Lap Siding - Select Cedarmill finish shown above

WF-7/8"  
Available  
Colours &  
Gauges



Westform Metals WF-7/8" Charcoal Grey



White Vinyl Windows  
for Apartments

Blue Stained Pine (Beetle Kill Pine)  
to enclose open air parking garage



Aluminum Storefront  
Windows for Ground  
Floor Offices and Entrance  
Colour to match Charcoal  
Grey



2492A TUTT STREET - EXISTING SITE PHOTOS



EXISTING SITE - LOOKING SOUTH



EXISTING SITE - LOOKING SOUTH



EXISTING SITE - LOOKING NORTH



EXISTING SITE - LOOKING SOUTHWEST



EXISTING SITE - LOOKING SOUTHWEST



EXISTING SITE - LOOKING WEST



EXISTING SITE - LOOKING WEST



EXISTING SITE - LOOKING SOUTH

TUTT STREET  
CONTEXT PHOTOS



RAYNER AND TUTT  
SOUTHWEST CORNER



2418 TUTT STREET



WEST AND TUTT  
NORTHWEST CORNER



2444 PANDOSY STREET



3001 TUTT STREET



555-554 GROVES AVENUE



555-554 GROVES AVENUE



3001 TUTT STREET



3022 TUTT STREET

**PHILIP  
MACDONALD  
ARCHITECT  
INC**

326 UPLANDS DR  
KELOWNA BC  
CANADA V1W 4J7  
TEL: (250) 764 4197  
FAX: (250) 764 4897  
PHILIP@CTRENSURE.WA.CA

**GENERAL CONTRACTOR:**  
The owner and architect warrant that the drawings and specifications are complete and correct as shown and that they are not to be construed as a contract. The drawings and specifications are to be read in conjunction with the contract documents. The architect is not responsible for the accuracy of the information provided by the owner or the contractor. The architect is not responsible for the accuracy of the information provided by the owner or the contractor.

DATE	ISSUED FOR
9 Oct, 2008	Client Review
3 Nov, 2008	Predevelopment Permit

**PROJECT TITLE:**  
**"NOW Canada"**  
39 Douglas Street  
Program Support  
Areas and  
Administrative  
Offices  
5528 Tutt Street  
Kelowna, B.C.

**Existing Site Photos  
& Tutt Street Context**

CONTRACT NUMBER: 716-0001-16  
PROJECT NUMBER: 716-0001-16  
SHEET NUMBER: 16  
DATE: 10/14/08  
DRAWN BY: [Name]  
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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** November 28, 2008  
**File No.:** DP08-0234

**To:** Planning & Development Services Department (AW)

**From:** Development Engineering Manager

**Subject:** 2955 Pandosy Street Tutt Street Lot 2 Plan 15105 **NOW CANADA**

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The Works & Utilities Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. AScT

City of Kelowna subdivision requirements for this development site were addressed in our report under file S08-0048

1. Domestic Water and Fire Protection

- (a) The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development, and establish hydrant requirements and service needs.
- (b) Upgrades to the existing water distribution system are anticipated to achieve the required fire flows. A watermain link between Pandosy Street and Tutt Street would likely be required.
- (c) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of a fire hydrant if required, and one new metered water service.  
The estimated cost of this construction for bonding purposes is **\$58,000.00**

2. Sanitary Sewer

- (a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. The existing lot has no sewer service. The applicant, at his cost, will arrange for the installation of one new larger service. Only one service will be permitted for this development. The estimated cost for construction for bonding purposes is **\$6,000.00**

### 3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include a minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and /or recommendations for onsite drainage containment and disposal systems.

### 4. Road Improvements

- (a) Pandosy Street fronting this development is fully urbanized and there are no access modifications anticipated. If it is determined that access modifications must be made, additional bonding will be required.
- (b) Tutt Street fronting this development is fully urbanized. The proposed access modifications will require driveway letdown, curb and gutter removal and replacement. The cost for bonding purposes is **\$4,000.00**
- (c) The Public Lane fronting the development site is urbanized to a paved standard and no upgrades will be required as part of this development.

### 5. Electric Power and Telecommunication Services

- (a) The development site is within the Urban Town Center. Electrical and telecommunication services to this site as well as the local distribution wiring must be installed in an underground duct system. The existing building and the proposed new building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

### 6. Engineering

- (a) Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

### 7. Geotechnical Report

- (a) As a requirement of this application and / or prior to issue of a building permit, the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:
  - (b) Area ground water characteristics.
  - (c) Site suitability for development; i.e. unstable soils, etc.

- (d) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyze soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (e) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

8. Survey Monuments and Iron Pins

- (a) If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

9. Bonding and Levy Summary

(a) Bonding

Watermain and servicing	\$ 58,000.00
Sanitary service	\$ 6,000.00
Driveway removal	\$ 4,000.00

Total Bonding **\$ 68,000.00**

**NOTE:** The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City prior to issuance of a building permit.

10. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as 3% of the total off-site construction costs, not including design. 5% GST will be added.

11. Site Related Issues

- (a) The site plan should illustrate the ability of vehicles to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles, the site plan should be modified and illustrated accordingly.
- (b) A revised site access and egress design onto Pandosy Street and Tutt Street as well as the parking lot configuration must be submitted for approval by the City before issuance of a development Permit. This is required to guarantee that the requirements and the limitations of access and egress required by the City have been addressed to the City's satisfaction.

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Steve Muenz, P. Eng.  
Development Engineering Manager  
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